



**NASER HEIGHTS
HOMEOWNERS
ASSOCIATION**

DISCLOSURE MATERIALS

**Naser Heights Homeowners Association
New Richmond, WI 54017**

- 1. THESE ARE THE LEGAL DOCUMENTS COVERING YOUR RIGHTS AND RESPONSIBILITIES AS A TWIN HOME HOMEOWNER. IF YOU DO NOT UNDERSTAND ANY PROVISIONS CONTAINED IN THEM, YOU SHOULD OBTAIN PROFESSIONAL ADVICE.**
- 2. THESE DISCLOSURE MATERIALS GIVEN TO YOU AS REQUIRED BY LAW MAY BE RELIED UPON AS CORRECT AND BINDING. ORAL STATEMENTS MAY NOT BE LEGALLY BINDING.**
- 3. YOU MAY AT ANY TIME WITHIN 5 BUSINESS DAYS FOLLOWING RECEIPT OF THESE DOCUMENTS, OR FOLLOWING NOTICE OF ANY MATERIAL CHANGES IN THESE DOCUMENTS, CANCEL IN WRITING THE CONTRACT OF SALE AND RECEIVE A FULL REFUND OF ANY DEPOSITS MADE.**

Index

The disclosure materials the seller is required by law to provide to each prospective twin home purchaser contains the following documents and exhibits:

Sections:

1. ***Declaration.*** The declaration establishes and describes the twin home. The declaration is in Section 1 of these materials.
2. ***Bylaws.*** The bylaws contain rules, which govern the twin home association and affect the rights and responsibilities of unit owners. The bylaws are in Section 3.
3. ***Management Contracts.*** Certain services may be provided to the twin home through contracts with individuals or private firms. There are no such contracts with the twin homes.
4. ***Annual Operating Budget.*** The association incurs expenses for the operation of the twin home(s) which are assessed to the unit owners. The operating budget is an estimate of those charges that are in addition to mortgage and utility payments.
5. ***Floor Plan & Map.*** The seller has provided a floor plan of the condominium unit being offered for sale and a map of the subdivision which shows the location of the unit you are considering. The floor plan and plat begin in Section 5.

Declaration

Bylaws

*Management
Contracts*

*Annual Operating
Budget*

*Floor Plan and
Map*

DECLARATION

Return address:
DCCI Investments, LLC
P.O. Box 445
1505 Hwy 65
New Richmond, WI 54017

161-2092-72-000 &
Part of 161-2078-92-050
Parcel Identification Number

**DECLARATION OF PROTECTIVE COVENANTS
FOR THE PLAT OF THE NASER HEIGHTS HOMEOWNERS ASSOCIATION**

The Declarant, for the benefit of the above described land and its present and future owners, hereby imposes upon the land above described, the following conditions, restrictions, covenants and charges, which shall run with the land and be binding upon, and inure to the benefit of the owners thereof their heirs, successors, administrators, grantees and assigns until January 1 of the year 2030, after which time said covenants shall be automatically extended for successive periods of five (5) years each unless an instrument signed by a majority (70%) of the then owners of the parcels has been recorded, agreeing to change these covenants in whole or in part.

1. Definitions.

- (a) "Lot" shall mean and refer to any one of the following described Lots located in the Town of New Richmond, State of Wisconsin, the Naser Heights Homeowners Association will include, Lots 1 through 50, which shall be the land which is subject to these Protective Covenants.

2. Derrick Homes, LLC, shall be the Architectural Review Committee.

3. Initial Construction of Residence on a Lot. No residence or other structure shall be erected or placed on any lot until the Plans and Specifications for the Residence or other structure shall have been approved in writing by the Architectural Review Committee. Plans and Specifications (“Plans and Specifications”) required for review shall be those as the Architectural Review Committee may require from time to time.
4. Residential Use. No structures shall be erected, altered, placed or permitted to remain on any Lot other than twin home dwellings (“Residence”) which shall be used for residential purposes only. Each residence shall consist of at least one bedroom, at least one bathroom, a kitchen, a dining and family room. No occupancy of any Residence shall be permitted prior to completion of the exterior thereof. Notwithstanding this, the Declarant shall be allowed and permitted to maintain a model unit upon the Lot(s) during the construction and sale period. Each Residence shall have a two-car garage.
5. Exterior. No trees over 4” in diameter are to be removed from the Lot without approval of the Architectural Committee.
6. Garages. Any garage shall be attached to the Residence and shall be deemed to be a part of the Residence. Garages shall correspond in architectural style and finishing to the Residence. Garages shall be designed in size for no less than two automobiles. No garage shall be constructed on any Lot prior to construction of a Residence thereon. Plain concrete or asphalt 16-foot minimum drive width design is required for driveways. Driveway design shall provide sufficient concrete or asphalt surface outside of the garage door for the parking of two standard size passenger vehicles side by side. Fiberglass garage doors and murals on garage doors shall not be permitted.
7. Auxiliary Buildings. No auxiliary buildings (including without limitation solar heat gathering systems) shall be permitted on any Lot.
8. Setbacks. Minimum setbacks with respect to improvements of any nature on a Lot (other than driveways, fences, walls or hedges) shall be as follows:
 - (a) See final recorded plat.
 - (b) Driveway setback: Five (5) feet from any lot line with respect to any driveway on a Lot.
 - (c) No building is allowed outside the approved building envelope.
9. Nuisances. No obnoxious or offensive activities which are or may become an annoyance or nuisance shall be permitted on any Lot.
10. Refuse or Trash. No outside incinerators, trash burners or garbage, ashes, refuse or receptacles to store such elements shall be located within uncovered view of any Lot or placed so as to become a nuisance. Provision for storage and retention of trash in sanitary containers prior to disposal thereof must be contained in the Plans and Specifications. All such containers, if kept outside, must be in an enclosed area out of sightlines. It is not the intent of this paragraph 10 to prohibit the use of outdoor barbecues or fireplaces.

Notwithstanding the foregoing, nothing contained herein shall be deemed to prohibit the temporary storage of construction materials or refuse on a Lot during the construction of improvements.

11. Animals and Livestock. No animals, rabbits, horses, cows, goats, sheep, poultry or fowl of any kind, or any other livestock will be permitted on any Lot, except that two dogs, cats or other household pets, not to exceed seventy-five pounds per animal may be kept on each Lot, ("Permitted Pets"). Provided, however, that such Permitted Pets shall not be kept for any commercial purpose. If any permitted pet requires a kennel or a fence, it must be an integral part of the Plans and Specifications approved by the Architectural Review Committee before installation.
12. Fuel and Storage Tanks. No fuel or storage tanks of any kind are allowed.
13. Gas, Electric and Water Meters. Gas, electric, and water meters shall be located away from the dwelling side fronting the street and obscured from direct public view. Where these locations cannot be adhered to, a landscape buffer must be incorporated to obstruct the view of these meters.
14. Fences. No fence, wall, hedge, shrub, or other object or growing thing which obstructs sight lines at elevations between two and six feet above the roadway shall be erected, planted, or permitted in the vision triangle of corner lots. No galvanized chain link fences are allowed.
15. Antenna. Radio, satellite and television antennas must be located within the structure so as not to be visible from adjacent homes. No satellite dishes shall be permitted over 500 square inches and must be approved by the Architectural Review Committee.
16. No Temporary Residence. No auxiliary building or other structure of a temporary nature, including without limitation trailers, basements, garages or other outbuildings located on any Lot shall be used at any time as a Residence, either temporarily or permanently.
17. In-Home Business. No businesses can be established in family residences that cause traffic congestion, car parking congestion, or similar nuisances.
18. Clotheslines. Clotheslines must be retractable and must be housed when not in use.
19. Exterior Lighting. All exterior lighting must be shown on landscape or elevation plans and approved by the Architectural Review Committee as more fully described in paragraph 3 and 4 hereof. Flashing or brilliant lighting and lighting infringing on adjacent Lots shall not be permitted. Exterior lighting shall provide for illumination of exterior outlines, plant forms, entries and walks and should be concealed whenever possible. Exposed exterior lighting fixtures must conform in architectural form and scale to the Residence.

20. Landscaping. All lots shall be sodded or seeded within disturbed construction areas of the Lot at the time of substantial completion of the Residence; provided, however, that in the event such sodding or seeding cannot occur on the date of substantial completion of the Residence because the weather does not permit, then such sodding or seeding shall be completed within ninety (90) days after the weather permits such sodding or seeding to occur. All front yards must be sodded to the back of curb.
- a) The front yard will have a minimum of 20 shrubs and 1 ornamental tree of 1½” caliper or 8’ clump.
 - b) Maximum of 15% of rear yard area for a vegetable garden.
 - c) All irrigation systems shall be designed to irrigate only the area for which the system is designed. Water run-off will be each lot owner’s responsibility. All effort shall be made to contain the sprinkler system over-spray within one’s own lot perimeter.
 - d) All basement egress window wells must be constructed with a timber, stone, or decorative retaining wall or a metal window well. These egress wells must be earth retained and not left unfinished.
 - e) Mailbox design shall conform to a single design approved by the Declarants.
21. Yard Ornaments. No yard ornaments shall be permitted without the prior approval of the Architectural Review committee.
22. Signs. No signs may be displayed to public view on any lot except signs not more than seven (7) feet square advertising the property for sale or rent, or any monuments are exempt from this section.
23. Vehicles and Personal Property. No commercial vehicles, recreational vehicles, trucks of greater than one (1) ton capacity or larger, campers, buses converted to campers or other light vehicles shall be parked, stored or left on any lot for more than twenty-four (24) consecutive hours in one day, except within the house, garage, or screened area. This prohibition shall not prohibit the parking of contractors’ trucks and equipment used during the construction of improvements to any lot or during the actual repair of the property. No motor vehicle which is not licensed and operable shall be parked or stored on any lot for more than forty-eight (48) hours. No snowmobiles, boats, trailers, construction equipment, building materials or supplies, ice houses, pick-up campers or other extraneous and unsightly objects shall be stored on any lot except that of construction equipment and building materials and supplies may be stored in a neat and orderly manner during the actual construction of improvements upon a lot.
24. Roofs, Newspaper Delivery Boxes and Mailboxes. Roof pitch and roofing materials, newspapers delivery boxes and mailboxes shall be subject to the review of the Architectural Review Committee in accordance with paragraphs 3 and 4 thereof.
25. Subdivision of Lots. No Lot as originally platted shall be further subdivided without the prior written approval of the Architectural Review Committee.

26. Drainage and Utility Easements. Easements for installation and maintenance of utilities and drainage facilities are reserved on the Lots as shown on recorded plats which include the Subject Property. Within these easements, no structure, planting or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities or which may change the direction of flow of drainage channels in the easements, or may obstruct or retard the flow of water through drainage channels in the easements. The easement area of each Lot and all improvements thereon shall be maintained continuously by the Owner of such Lot, except for those improvements for which a public authority or utility company is responsible.
27. Violation and Rights of Parties. If any party violates any of the covenants, conditions or restrictions herein provided, it shall be lawful for any party or parties in interest in the above described lands to institute and prosecute proceedings at law or in equity against the parties violating, either to prevent said violation, to recover damages, or to force compliance to a provision, including but not limited to obtaining a restraining order and a temporary and permanent injunction to immediately stop construction until the provisions herein are complied with.
28. Removal and Abatement. The Architectural Review Committee shall have the right to order an owner to remove or alter any structure on any lot erected in violation of the terms of this Declaration, and to employ appropriate judicial proceedings to compel the alteration or demolition of any nonconforming construction or other violation. The Architectural Review Committee shall be entitled to recover their actual costs of pursuing enforcement, including reasonable attorney's fees and legal costs, from the owner of the lot in violation.
29. Severability. If any portion, section, subsection, sentence, clause, paragraph, or phrase of this declaration is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this declaration.
30. Variance. The Architectural Review Committee shall, in its discretion, have the right to grant variances from the terms and conditions of this Declaration of Covenants. No variance shall be granted until written notice has been given to all lot owners by certified mail at least thirty days prior to the granting of the variance. The Architectural Review Committee shall consider any written objections to the variance. In the event a majority of the record owners of the lots object to the variance, the variance shall be denied.
31. Owner & Association Responsibilities. Owner is responsible for insurance and all maintenance of building. Association covers irrigation, trash, lawn & snow removal. Builder is not responsible for any other maintenance and or cost accrued by association.

IN TESTIMONY WHEREOF, said Declarant hereto has set its hand and seal this day of 6.30.2020, 2020.

DECLARANT:

DCCI INVESTMENTS, LLC




Ronald L. Derrick, President

ACKNOWLEDGEMENT

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

Personally came before me this 30th day of June, 2020, the above-named Ronald L. Derrick, to me known to be the person who executed the foregoing instrument and acknowledge the same.

BERNADETTE L. L'ALLIER
Notary Public-State of Wisconsin



, Notary Public

State of Wisconsin

My commission expires: 10-23-20

This Instrument Drafted By:
Ronald L. Siler
Williamson & Siler, S.C.
201 South Knowles Avenue
New Richmond, WI 54017

BYLAWS

Return address:
DCCI Investments, LLC
P.O. Box 445
1505 Hwy 65
New Richmond, WI 54017

161-2092-72-000 &
Part of 161-2078-92-050
Parcel Identification Number(s)

NASER HEIGHTS HOMEOWNERS ASSOCIATION BYLAWS

SECTION 1

GENERAL

1.1 The following are the Bylaws of Naser Heights Homeowners Association, an unincorporated association (the "Association"). The Association is organized for the purpose of operating and managing Lots 1 through 50 of the Plat of Naser Heights Association a residential community. The terms used in Naser Heights these Bylaws shall have the same meaning as they have in the Declaration of Protective Covenants for Naser Heights (the "Declaration").

SECTION 2

PURPOSE

2.1 The primary purpose of the Association is to own, manage, maintain, improve and control Lots 1 through 50 of the Plat of Naser Heights subdivision. The association shall have responsibility for the installation and future maintenance of Lots 1 through 50. In addition, the association shall have continuing responsibility for the maintenance and improving of all erosion control and stormwater management devices shown on the plat.

2.2 The Association all have authority for creating and funding an annual budget for the Association. The Association has the power and authority to assess all lot owners in the subdivision for an equal share of any costs associated with owning, managing, maintaining, improving and controlling Lots 1 through 50 of the subdivision and other authorized activities of the Association.

SECTION 3 MEMBERSHIP

3.1 Owners Defined. All persons described as Owners in the Declaration shall be members of the Association. No person shall be a member solely by virtue of holding a security interest in a Lot. A person shall cease to be a member at such time as that person is no longer an Owner.

SECTION 4 VOTING

4.1 Entitlement. Votes shall be allocated to each Lot as provided in the Declaration. However, no vote shall be exercised as to a Lot while the Lot is owned by the Association.

4.2 Voting by Proxy. An Owner may cast the vote which is allocated to the Owner's Lot and be counted as present at any meeting of the Owners by executing a written proxy naming another person entitled to act on that Owner's behalf, and delivering the same to the Secretary before the commencement of any such meeting. All proxies granted by an Owner shall remain in effect until the earliest of the following events: (i) revocation by the granting Owner by written notice or by personally attending and voting at the meeting for which the proxy is effective, (ii) eleven (11) months after the date of the proxy, unless otherwise provided in the proxy, or (iii) the time at which the granting Owner is no longer an Owner.

4.3 Vote Required. A majority of the votes cast at any properly constituted meeting of the Owners shall decide all matters properly brought before the Owners, except where a different vote is specifically required by the Governing Documents. The term "majority" as used herein shall mean in excess of fifty percent (50) of the votes cast at a meeting, in person or by proxy in accordance.

SECTION 5 MEETINGS OF OWNERS

5.1 Annual Meetings. An annual meeting of the Owners shall be held in each fiscal year on a date and at a reasonable time and place, designated by the Board of Directors. At each annual meeting of the Owners, (i) the Persons who are to constitute the Board of Directors shall be elected, (ii) a report shall be made to the Owners on the activities and financial condition of the Association, and (iii) any other matter which is included in the notice of the annual meeting, and is a proper subject for discussion or decision by the Owners, shall be considered and acted upon at the meeting.

5.2 Special Meetings. Special meetings of the Owners may be called by the President as a matter of discretion. Special meetings of the Owners shall be called by the President or Secretary within thirty (30) days following receipt of the written request of a majority of the members of the Board of Directors or of Owners entitled to cast at least twenty-five (25%) percent of all the votes in the Association. The meeting shall be held within ninety (90) days following receipt of the request. The request shall state the purpose of the meeting and the business transacted at the special meeting shall be confined to the purposes stated in the notice. The purpose for which the meeting is requested and held must be lawful and consistent with the Association's purposes and authority.

5.3 Notice of Meetings. At least ten (10), but not more than sixty (60), days in advance of any annual regular, or special meeting of the Owners, the Secretary shall provide to all persons who are Owners as

of the date of sending the notice, notice of the time place and agenda of the meeting, by United States mail, or by hand delivery, at the Owner's Lot address or such other address as the Owner may have designated in writing to the Secretary.

5.4 Quorum/Adjournment. The presence of Owners in person or by proxy, who have the authority to cast in excess of twenty percent (20) of all the votes in the Association shall be necessary to constitute a quorum at all meetings of the Owners for the transaction of any business, except that of adjourning the meeting to reconvene at a subsequent time.

5.5 Voting Register. The Secretary shall have available at the meeting a list of the Lot numbers, the names of the Owners, the vote attributable to each Lot and the name of the person (in the case of multiple Owners) authorized to cast the vote.

5.6 Agenda. The agenda for meetings of the Owners shall be established by the Board of Directors, and shall be sent to all Owners along with the notice of the meeting.

SECTION 6 BOARD OF DIRECTORS

6.1 Number and Qualification. The affairs of the Association shall be governed by a Board of Directors. The Board of Directors shall be composed of three (3) directors, a majority of whom shall be Owners, or a duly authorized representative of the Owner if the Owner is a corporation, partnership, limited liability company, trust or other entity which has the capacity to hold title to real estate.

6.2 Term of Office. The terms of office of the members of the Board of Directors shall be as follows: The first terms of office of the directors shall be one year for one of the directors, two (2) years for one of the directors, and three years for one of the directors. The nominee or nominees receiving the greatest numbers of votes shall fill the longer terms. Each term of office thereafter shall be three (3) years and shall expire upon the election of a successor at a subsequent annual meeting of the Owners; provided, that a director shall continue in office until a successor is elected. A number of nominees equal to the number of vacancies, and receiving the greatest numbers of votes, shall be elected, notwithstanding that one (1) or more of them does not receive a majority of the votes cast.

6.3 Powers. The Board of Directors shall have all powers necessary for the administration of the affairs of the Association, and may exercise for the Association all powers and authority vested in or delegated to the board.

6.4 Meetings and Notices. An annual meeting of the Board of Directors shall be held promptly following each annual meeting of the Owners. At each annual meeting the officers of the Association shall be elected.

6.5 Quorum and Voting. A majority of the members of the Board of Directors shall constitute a quorum for the transaction of business at any meeting thereof. A quorum, once, established, shall continue to exist, regardless of the subsequent departure of any directors. Each director shall have one (1) vote. The vote of a majority of the directors present at any meeting at which a quorum is present shall be sufficient to adopt any action. Proxies shall not be permitted.

6.6 Action Taken Without A Meeting. The Board of Directors shall have the right to take any action in the absence of a meeting which it could take at a meeting when authorized in a writing signed by all the directors.

6.7 Vacancies. A vacancy in the Board of Directors shall filled by a person elected within thirty (30) days following the occurrence of the vacancy by a majority vote of the remaining directors, regardless of their number. Each person so elected shall serve out the term vacated.

6.8 Removal. A director may be removed from the Board of Directors, with or without cause, by a majority vote at any annual or special meeting of the Owners; provided, (i) that the notice of the meeting at which removal is to be considered states such purpose, (ii) that the director to be removed has a right to be heard at the meeting and (iii) that a new director is elected at the meeting by the owners to fill the vacant position caused by the removal. A director may also be removed by the Board of Directors if such director (i) has more than two unexcused absences from Board meetings and/or Owners meetings during any twelve month period or (ii) is more than sixty (60) days past due with respect to assessments on the director's Lot. Such vacancies shall be filled by the vote of the Owners.

6.9 Compensation. Except as authorized by a vote of the Owners at a meeting thereof, the directors of the Association shall receive no compensation for their services in such capacity. A director, or other Owner or Occupant may, upon approval by the Board of Directors, be retained by the Association and reasonably compensated for goods and services furnished to the Association in an individual capacity. Directors may be reimbursed for out-of-pocket expenses incurred in the performance of their duties.

SECTION 7 OFFICERS

7.1 Principal Officers. The principal officers of the Association shall be a President, a Secretary and a Treasurer, all of whom shall be elected by the Board of Directors.

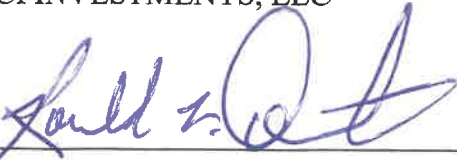
7.2 Election. The officers of the Association shall be elected annually by the Board of Directors at its annual meeting and shall hold office at the pleasure of the Board.

7.3 Removal. Upon an affirmative vote of a majority of the members of the Board, any officer may be removed, with or without cause, and a successor elected, at any regular meeting of the Board of Directors, or at any special meeting of the Board of Directors called for that purpose.

7.4 Compensation. Except as authorized by a vote of the Owners at a meeting thereof, officers of the Association shall receive no compensation for their services in such capacity. An officer, or other Owner or Occupant may, upon approval by the Board of Directors; be retained by the Association and reasonably compensated for goods and services furnished to the Association in an individual capacity. Officers may be reimbursed for out-of-pocket expenses incurred in the performance of their duties.

Dated this 30TH day of June, 2020.

DCCI INVESTMENTS, LLC

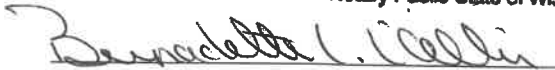
By: 
Ronald L. Derrick, Managing Member

ACKNOWLEDGEMENT

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

Personally came before me this 30th day of June, 2020, the above-named Ronald L. Derrick, to me known to be the person who executed the foregoing instrument and acknowledge the same.

BERNADETTE L. L'ALLIER
Notary Public-State of Wisconsin


_____, Notary Public

State of Wisconsin

My commission expires: 10-23-20

This Instrument Drafted By:
Ronald L. Siler
Williamson & Siler, S.C.
201 South Knowles Avenue
New Richmond, WI 54017

MANAGEMENT CONTRACTS



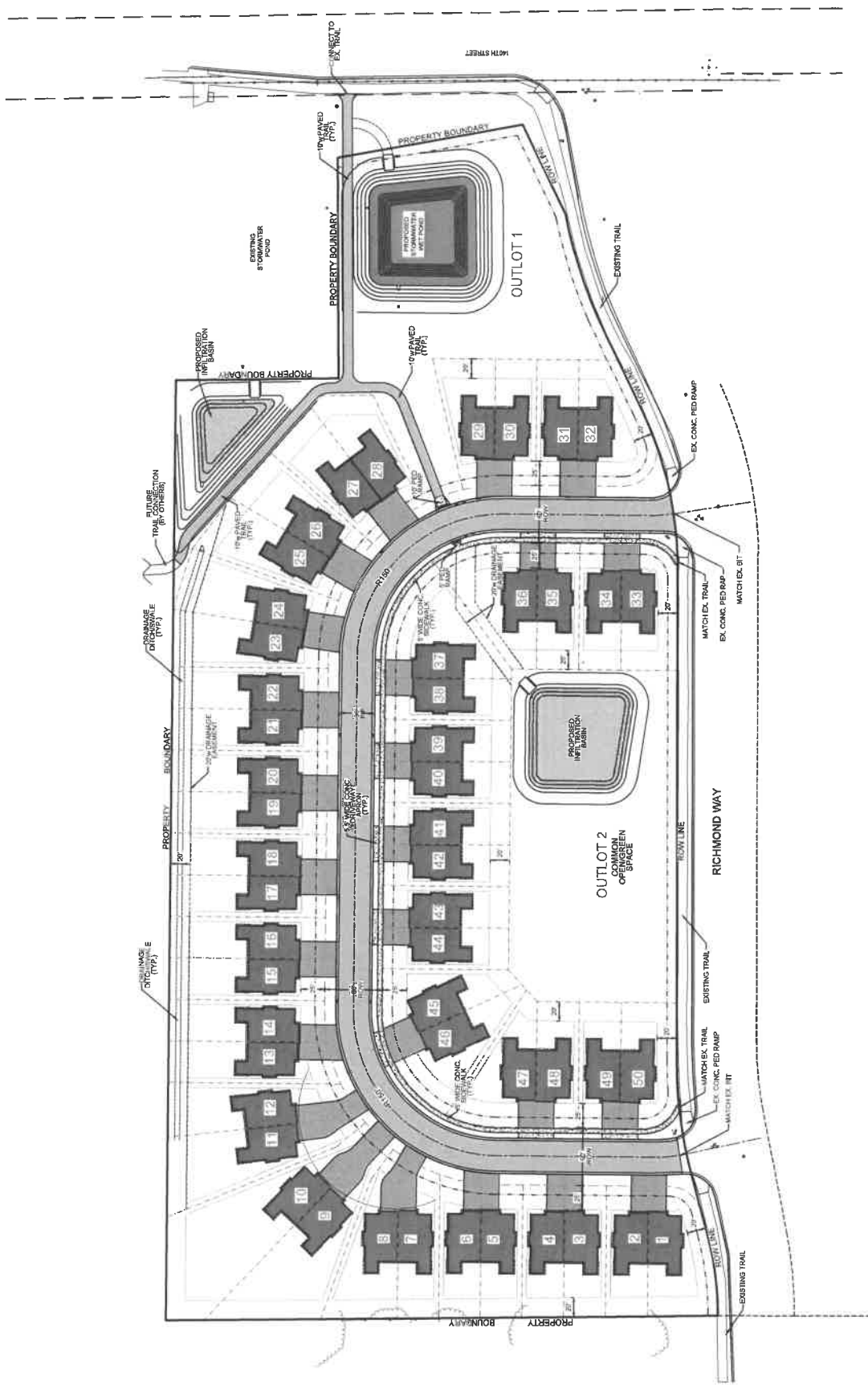
744 Ryan Drive, Suite #103
Hudson, WI. 54016

Contact Info:

Jean Conners
Bordertown Realty, Inc.
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Hudson WI 54016
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715-386-8276 Fax
Jean@BordertownRealty.com

Krista Murray
Bordertown Realty, Inc.
715-386-6000

FLOOR PLAN AND MAP



14TH STREET

PROPERTY BOUNDARY

EXISTING TRAIL

PROPOSED BASIN

EXISTING TRAIL

PROPOSED BASIN

EXISTING TRAIL

PROPERTY BOUNDARY

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Naser Heights Addresses

Lot	#	Address	City, State	Zipcode
1	1201	Naser Way	New Richmond, WI	54017
2	1203	Naser Way	New Richmond, WI	54017
3	1207	Naser Way	New Richmond, WI	54017
4	1209	Naser Way	New Richmond, WI	54017
5	1211	Naser Way	New Richmond, WI	54017
6	1213	Naser Way	New Richmond, WI	54017
7	1217	Naser Way	New Richmond, WI	54017
8	1219	Naser Way	New Richmond, WI	54017
9	1221	Naser Way	New Richmond, WI	54017
10	1223	Naser Way	New Richmond, WI	54017
11	1227	Naser Way	New Richmond, WI	54017
12	1229	Naser Way	New Richmond, WI	54017
13	1231	Naser Way	New Richmond, WI	54017
14	1233	Naser Way	New Richmond, WI	54017
15	1241	Naser Way	New Richmond, WI	54017
16	1243	Naser Way	New Richmond, WI	54017
17	1247	Naser Way	New Richmond, WI	54017
18	1249	Naser Way	New Richmond, WI	54017
19	1253	Naser Way	New Richmond, WI	54017
20	1255	Naser Way	New Richmond, WI	54017
21	1261	Naser Way	New Richmond, WI	54017
22	1263	Naser Way	New Richmond, WI	54017
23	1267	Naser Way	New Richmond, WI	54017
24	1269	Naser Way	New Richmond, WI	54017
25	1271	Naser Way	New Richmond, WI	54017
26	1273	Naser Way	New Richmond, WI	54017
27	1277	Naser Way	New Richmond, WI	54017
28	1279	Naser Way	New Richmond, WI	54017
29	1290	Naser Way	New Richmond, WI	54017
30	1292	Naser Way	New Richmond, WI	54017
31	1296	Naser Way	New Richmond, WI	54017
32	1298	Naser Way	New Richmond, WI	54017
33	1299	Naser Way	New Richmond, WI	54017
34	1297	Naser Way	New Richmond, WI	54017
35	1293	Naser Way	New Richmond, WI	54017
36	1291	Naser Way	New Richmond, WI	54017
37	1266	Naser Way	New Richmond, WI	54017
38	1264	Naser Way	New Richmond, WI	54017
39	1258	Naser Way	New Richmond, WI	54017
40	1256	Naser Way	New Richmond, WI	54017
41	1252	Naser Way	New Richmond, WI	54017
42	1250	Naser Way	New Richmond, WI	54017
43	1246	Naser Way	New Richmond, WI	54017
44	1244	Naser Way	New Richmond, WI	54017
45	1234	Naser Way	New Richmond, WI	54017
46	1232	Naser Way	New Richmond, WI	54017
47	1210	Naser Way	New Richmond, WI	54017
48	1208	Naser Way	New Richmond, WI	54017
49	1204	Naser Way	New Richmond, WI	54017
50	1202	Naser Way	New Richmond, WI	54017

DISTINCTIVE DESIGNS
 INC. OF ILL.

1400 Woodland Road
 Northbrook, IL 60062
 847-580-1000

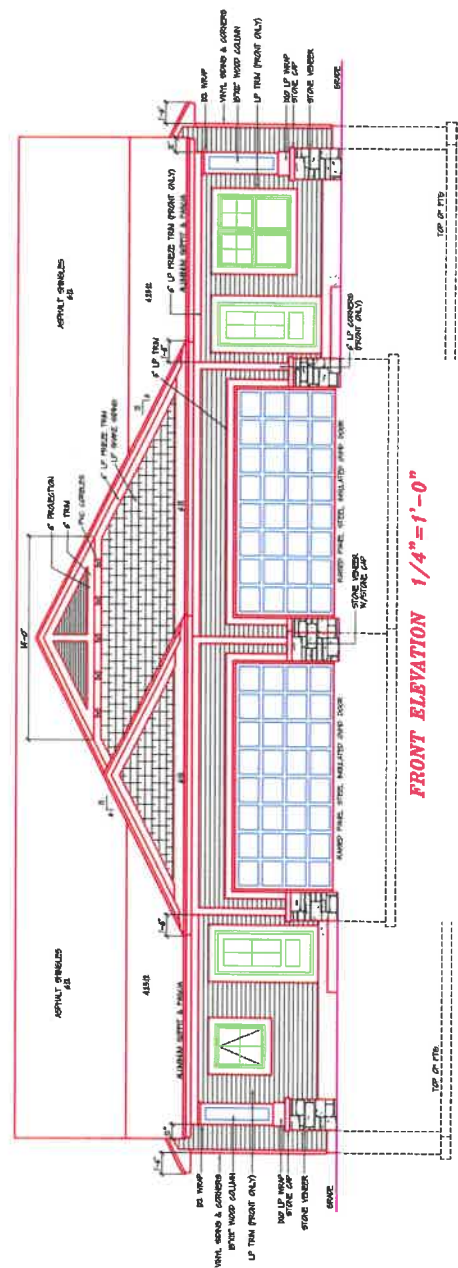
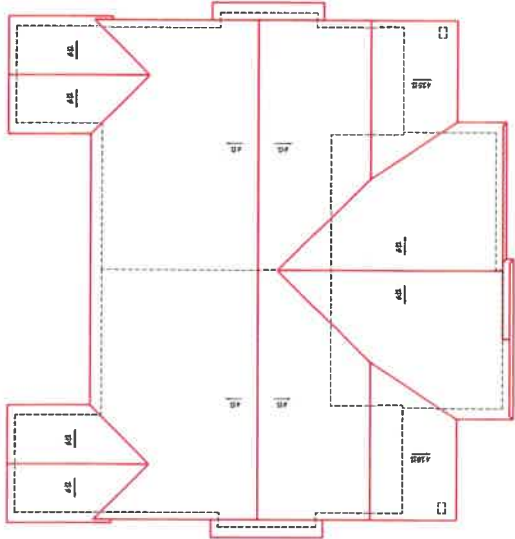
ALL WORK SHALL BE SUBJECT TO THE ILLINOIS BUILDING CODE AND ALL APPLICABLE ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND PREPARATION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND FINISHES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE STRUCTURAL DESIGN OR THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS AND THE PUBLIC. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE PUBLIC.

DERICK HOMES
 715-246-2320
 NEW RICHMOND, WISCONSIN

Muhlenhoff & Associates
 1008 KING RD
 NEW RICHMOND, WI 53151
 414-241-1000
 muhlenhoff.com

ISSUE DATE: 05-29-20
 REVISIONS:
 JOB NUMBER: 20220
 DRAWN BY: M. MORIN

SHEET 1 of 5



DESIGNED BY
DISTINCTIVE DESIGNS
INC. OF MPLS.
 1801 Hennepin Avenue
 Minneapolis, Minnesota 55403
 612-338-7777

THIS PLAN IS THE PROPERTY OF DISTINCTIVE DESIGNS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGNS, INC. THE USER OF THIS PLAN AGREES TO HOLD DISTINCTIVE DESIGNS, INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY DISTINCTIVE DESIGNS, INC. OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, ARISING OUT OF OR RESULTING FROM THE USE OF THIS PLAN.

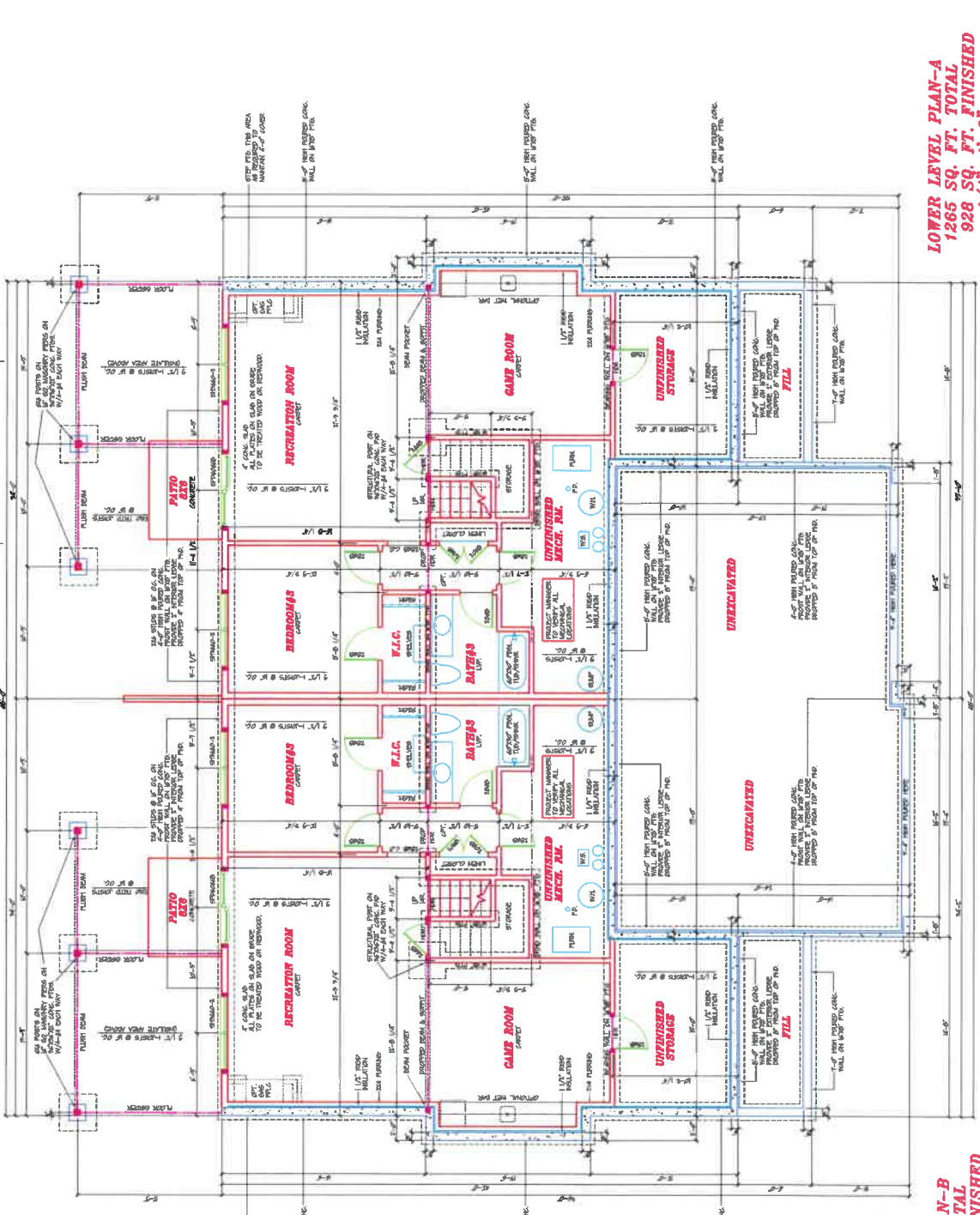
DERICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (WALK-OUT)
 NEW RICHMOND, WISCONSIN

Muhleppoh & Associates
 877-610-4868
 1501 Hennepin Avenue
 Minneapolis, MN 55403-4200
 612-338-7777
 CONTACT: MUEHLEPPOH & ASSOCIATES
 ARCHITECTS
 1501 HENNEPIN AVENUE, SUITE 100
 MINNEAPOLIS, MN 55403-4200
 PHONE: 612-338-7777
 FAX: 612-338-7778
 WWW.MUEHLEPPOH.COM

ISSUE DATE: 03-26-20
 REVISIONS:
 JOB NUMBER: B9220
 DRAWN BY: M. MORTY

SHEET #
2 of **5**

ACCEPTS THIS PLAN AS SHOWN AND AGREES TO HOLD DISTINCTIVE DESIGNS, INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY DISTINCTIVE DESIGNS, INC. OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, ARISING OUT OF OR RESULTING FROM THE USE OF THIS PLAN.



LOWER LEVEL PLAN-A
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4" = 1'-0"
 UNIT# _____

LOWER LEVEL PLAN-B
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4" = 1'-0"
 UNIT# _____



**DISTINCTIVE DESIGNS
INC. OF WIS.**
14001 Industrial Road
Pewaukee, WI 53072
Phone: 414-947-5000

THIS PLAN IS A PROFESSIONAL ARCHITECTURAL DESIGN. IT IS THE PROPERTY OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN.

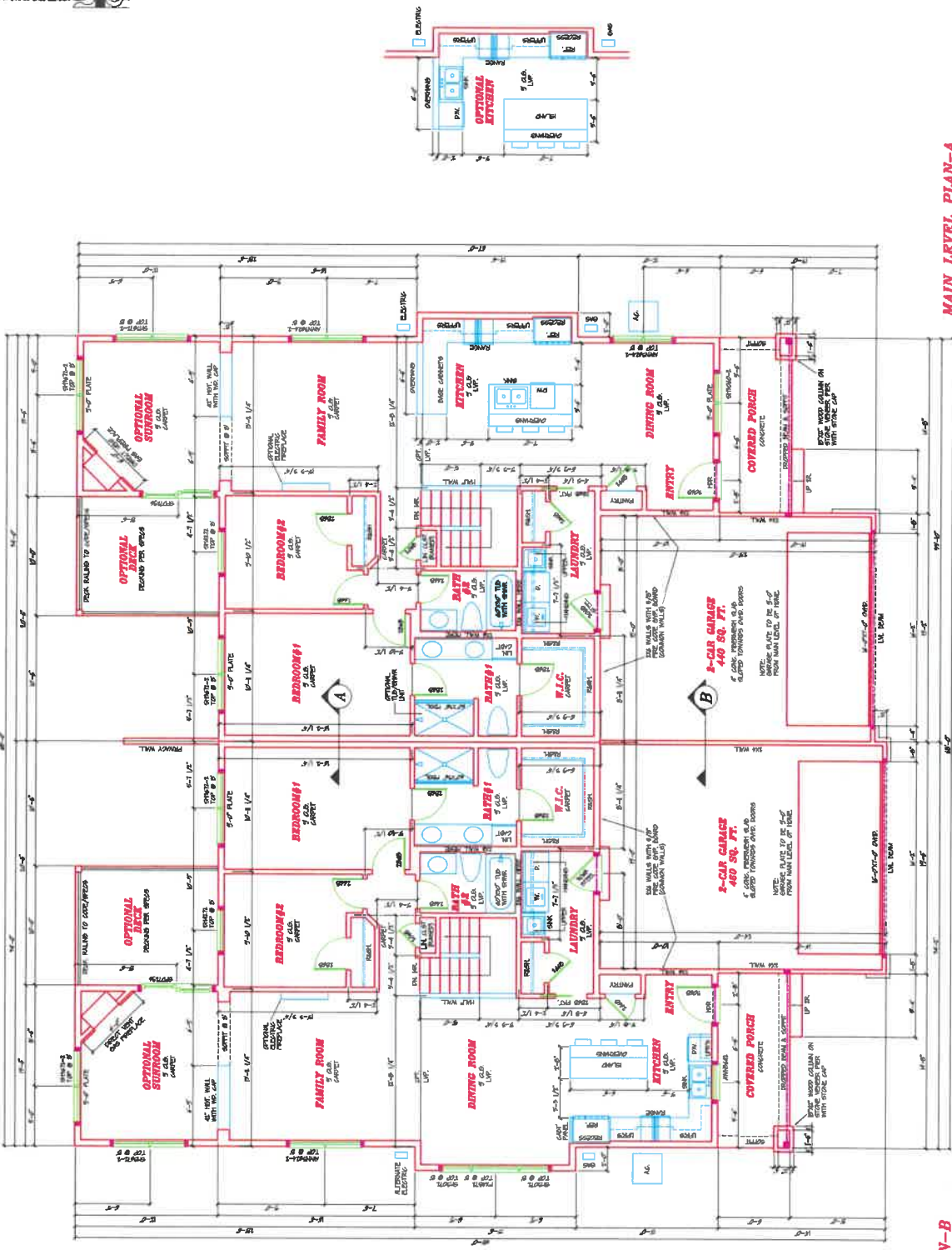
**DERICK HOMES 716-246-2820
NASER HEIGHTS TWIN HOMES (WALK-OUT)
NEW RICHMOND, WISCONSIN**

**Muhlenpoh &
Associates**
10000 WISCONSIN ROAD, SUITE 200
WISCONSIN, WI 53190
PHONE: 414-947-5000
FAX: 414-947-5001
WWW.MUHLENPOH.COM

ISSUE DATE: 03-26-20
REVISIONS:
JOB NUMBER: 89230
DRAWN BY: M. MURPHY
SHEET #

3 of 5
UNIT#

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
5. ALL FLOORS ARE 4" CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
6. ALL CEILING ARE 9' UNLESS NOTED OTHERWISE.
7. ALL ROOF ARE 12/12 GABLE UNLESS NOTED OTHERWISE.
8. ALL EXTERIOR WALLS ARE 8" CMU UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
10. ALL EXTERIOR WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
11. ALL EXTERIOR FINISHES ARE TO BE DETERMINED AT THE TIME OF PERMITS.
12. ALL INTERIOR FINISHES ARE TO BE DETERMINED AT THE TIME OF PERMITS.
13. ALL MECHANICAL SYSTEMS ARE TO BE DETERMINED AT THE TIME OF PERMITS.
14. ALL ELECTRICAL SYSTEMS ARE TO BE DETERMINED AT THE TIME OF PERMITS.
15. ALL PLUMBING SYSTEMS ARE TO BE DETERMINED AT THE TIME OF PERMITS.
16. ALL PAINTS ARE TO BE DETERMINED AT THE TIME OF PERMITS.
17. ALL CARPENTRY ARE TO BE DETERMINED AT THE TIME OF PERMITS.
18. ALL ROOFING ARE TO BE DETERMINED AT THE TIME OF PERMITS.
19. ALL EXTERIOR LANDSCAPING ARE TO BE DETERMINED AT THE TIME OF PERMITS.
20. ALL EXTERIOR LIGHTING ARE TO BE DETERMINED AT THE TIME OF PERMITS.



MAIN LEVEL PLAN-A
1265 SQ. FT.
162 SQ. FT. OPTIONAL SUNROOM
1427 SQ. FT. TOTAL
1/4" = 1'-0"
UNIT#

MAIN LEVEL PLAN-B
1265 SQ. FT.
162 SQ. FT. OPTIONAL SUNROOM
1427 SQ. FT. TOTAL
1/4" = 1'-0"
UNIT#



ARCHITECT: DISTINGUISHING DESIGNS INC. OF WAIS
 1401 N. HAWKWOOD ROAD
 WISCONSIN, 53190-1000
 262-781-1000

PROJECT: NASER HEIGHTS TWIN HOMES (WALK-OUT)
 715-246-2320
 DRAWN BY: M. MCCOY

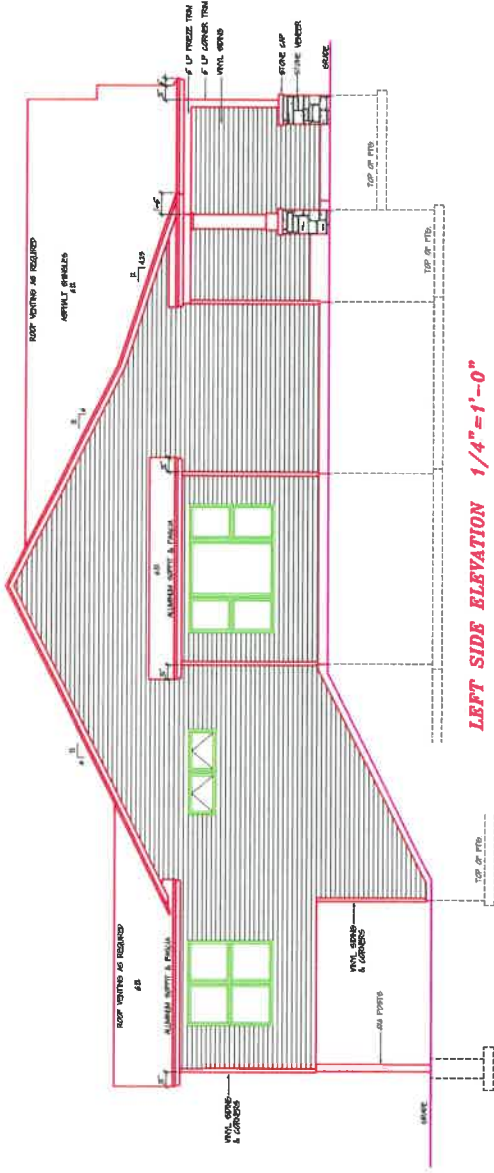
DERRICK HOMES 715-246-2320
 NASER HEIGHTS TWIN HOMES (WALK-OUT)
 NEW RICHMOND, WISCONSIN

Muhlenpoh & Associates
 10000 WISCONSIN ROAD
 WISCONSIN, 53190-1000
 262-781-1000

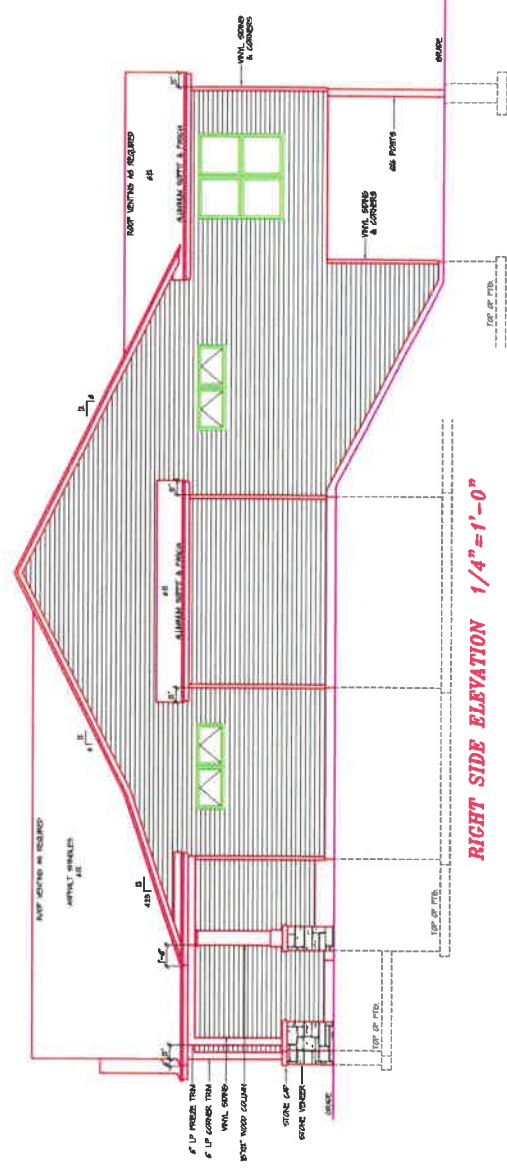
ISSUE DATE: 03-28-20
 REVISIONS:

CD NUMBER: R2320
 DRAWN BY: M. MCCOY

SHEET # 4 OF 5



LEFT SIDE ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"

IF ALL NOT SHOWN OTHERWISE FOR BRACE CONNECTIONS
 AND ALL OTHER DETAILS REFER TO BRACE CONNECTIONS

ARCHITECTURAL DESIGN BY
**DISTINCTIVE DESIGNS
 INC. OF WISCONSIN**
 14801 Industrial Road
 Brookfield, Wisconsin 53005
 (262) 433-0000

THIS DOCUMENT IS THE PROPERTY OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE USER SHALL INDEMNIFY AND HOLD HARMLESS DISTINCTIVE DESIGNS, INC. OF WISCONSIN FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THIS PLAN.

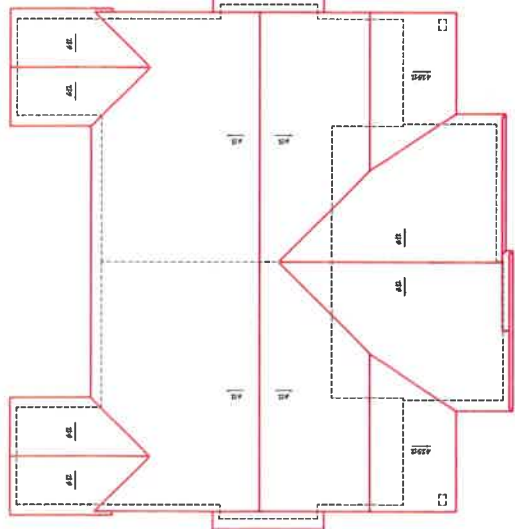
DERICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (DAYLITE)
 NEW RICHMOND, WISCONSIN

**Muhlenpoh &
 Associates**
 612-942-4000
 10000 University Ave. #100
 Minneapolis, MN 55431-4100
 www.muhlenpoh.com

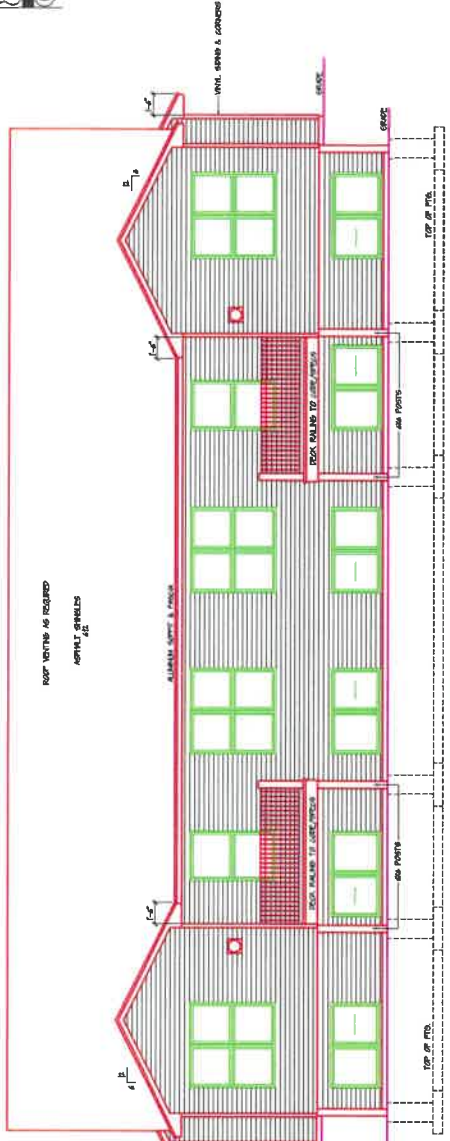
ISSUE DATE: 03-26-20
 REVISIONS:
 JOB NUMBER: BR320
 DRAWN BY: M. MORTIN

SHEET #
1 OF **5**

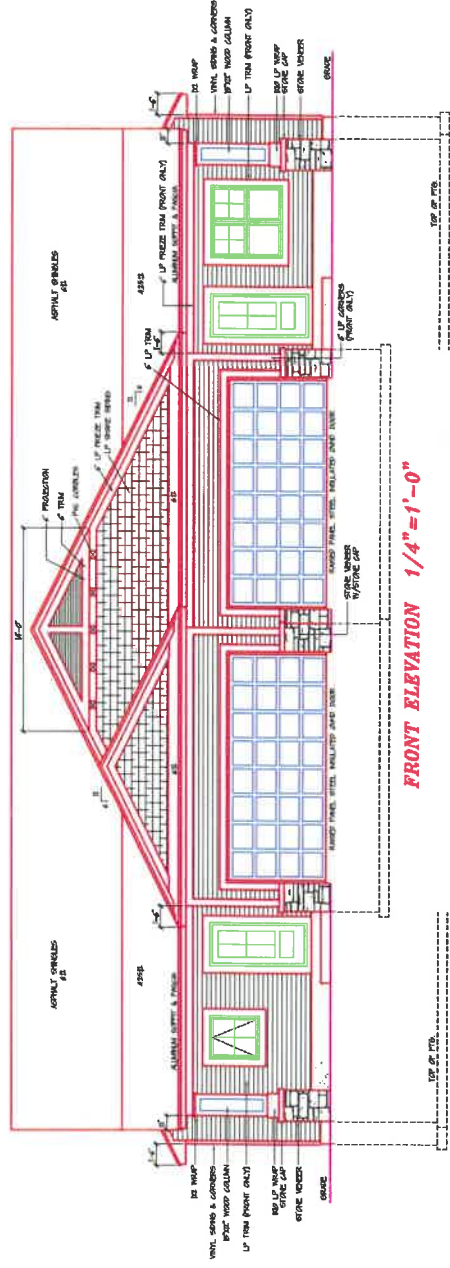
ROOF VENTING AS REQUIRED
 APPLY TO SHEETS
 41, 42, 43



ROOF PLAN
 1/8" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"

DISTINCTIVE DESIGNS
 INC. OF WISCONSIN
 15001 W. NATIONAL AVENUE
 SUITE 100
 WEST ALLIS, WISCONSIN 53227
 PHONE: 414-333-3333
 FAX: 414-333-3334

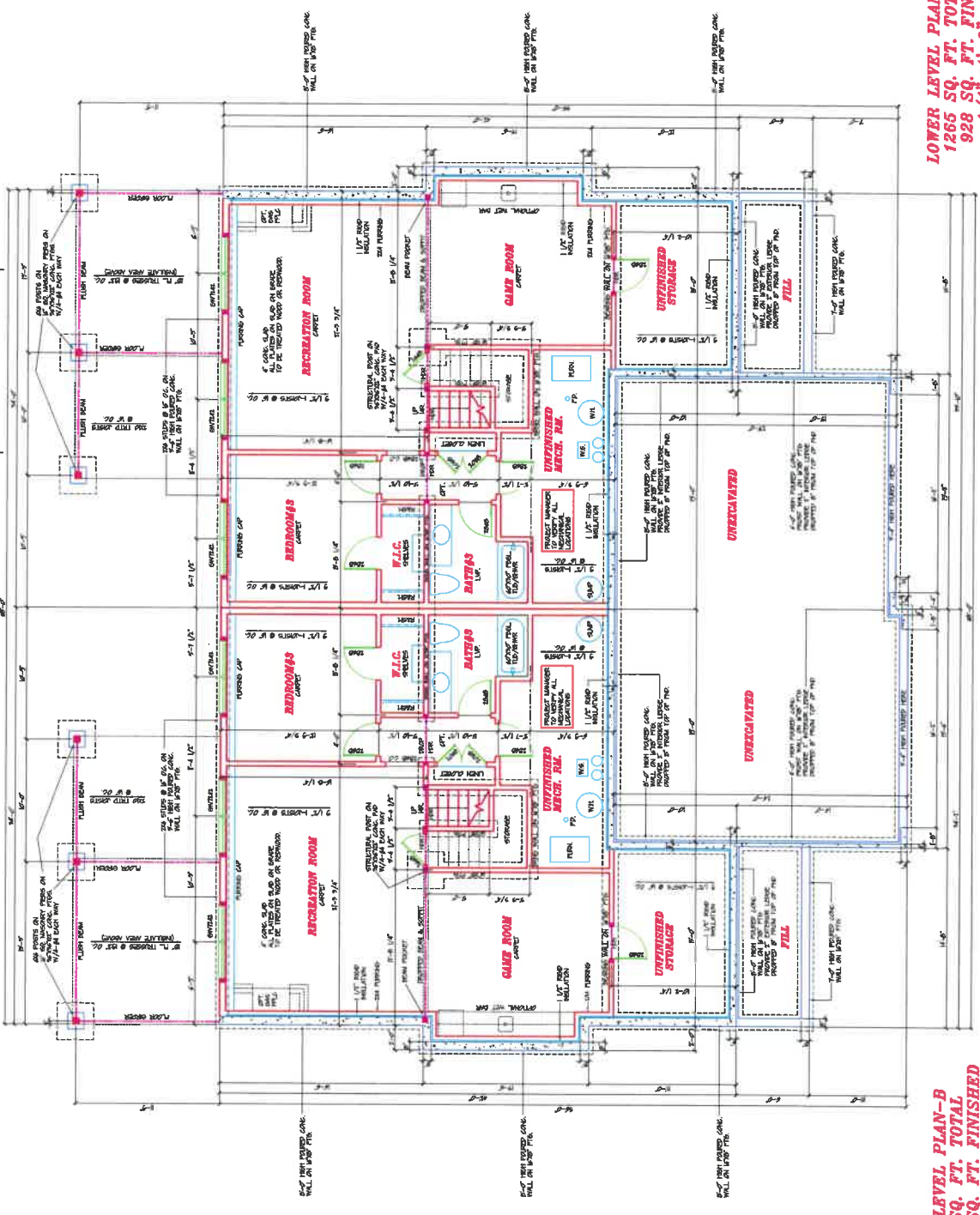
THIS PLAN AND ALL OTHERS HEREAFTER REFERRED TO ARE THE PROPERTY OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN. NO PART OF THIS PLAN OR ANY OTHERS HEREAFTER REFERRED TO SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGNS, INC. OF WISCONSIN.

DERICK HOMES
 715-246-2320
 NASER HEIGHTS TWIN HOMES (DAYLITE)
 NEW RICHMOND, WISCONSIN

Muhenpoh & Associates
 ARCHITECTS
 1000 W. WISCONSIN AVENUE
 SUITE 100
 WEST ALLIS, WISCONSIN 53227
 PHONE: 414-333-3333
 FAX: 414-333-3334

ISSUE DATE: 03-28-20
 REVISIONS:
 JOB NUMBER: BR320
 DRAWN BY: M. MURPHY

SHEET:
 2 of 5



LOWER LEVEL PLAN-A
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4"=1'-0"
 UNIT# _____

LOWER LEVEL PLAN-B
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4"=1'-0"
 UNIT# _____

ALL ROOMS AND HALLS SHALL BE FINISHED WITH CARPET. ALL OTHER AREAS SHALL BE FINISHED WITH POLISHED CONCRETE. SEE FINISH SCHEDULE FOR MORE DETAILS.

DISTINCTIVE DESIGNS
INC. OF ILLINOIS
 1400 S. FARMERS ROAD
 DEERFIELD, ILLINOIS 60015
 PHONE: 708.441.0000

WE ARE AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER.
 WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, COLOR, RELIGION, SEX, NATIONAL ORIGIN, ANCESTRY, AGE, MARITAL STATUS, PREGNANT WOMEN, PHYSICAL OR MENTAL HANDICAP, OR ANY OTHER ILLEGAL BASIS.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF SEXUAL ORIENTATION OR PREFERENCE.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER IDENTITY OR EXPRESSION.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER ASSIGNED AT BIRTH.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER ROLE.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER EXPRESSION.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER IDENTITY.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER ASSIGNED AT BIRTH.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER ROLE.
 WE DO NOT DISCRIMINATE AGAINST ANY INDIVIDUALS ON THE BASIS OF GENDER EXPRESSION.

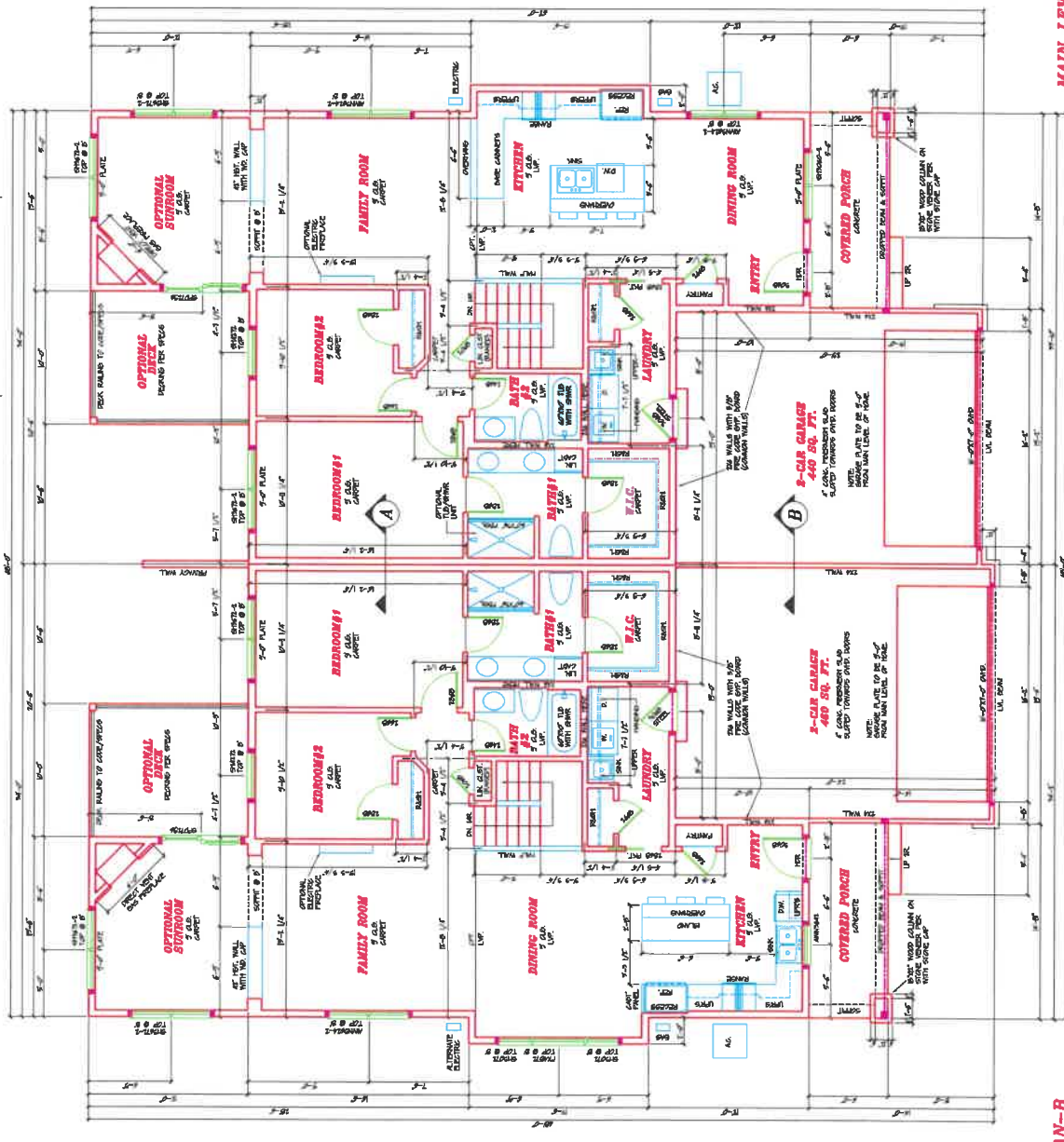
DERICK HOMES 715-246-2920
NASER HEIGHTS TWIN HOMES (DAYLITE)
 NEW RICHMOND, WISCONSIN

Mullenpoth & Associates
 ARCHITECTS
 1400 S. FARMERS ROAD
 DEERFIELD, ILLINOIS 60015
 PHONE: 708.441.0000

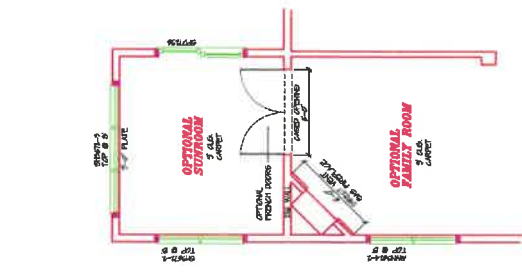
CONTRACT NO. 2023-0001
 PROJECT NO. 2023-0001
 SHEET NO. 1-0
 DATE: 03-28-23

ISSUE DATE: 03-28-23
 REVISIONS:
 JOB NUMBER: B9330
 DRAWN BY: M. MORIN

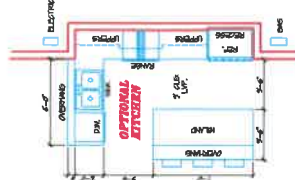
SHEET # **3** OF **5**
 UNIT# _____



MAIN LEVEL PLAN-A
 1265 SQ. FT.
 162 SQ. FT. OPTIONAL SUNROOM
 1427 SQ. FT. TOTAL
 1/4" = 1'-0"
 UNIT# _____



MAIN LEVEL PLAN-B
 1265 SQ. FT.
 162 SQ. FT. OPTIONAL SUNROOM
 1427 SQ. FT. TOTAL
 1/4" = 1'-0"
 UNIT# _____



**DISTINGUISHING DESIGNS
INC. OF WIS.**
1400 Industrial Blvd.
Bloomington, WI 53010
608-899-3300

WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS DRAWING IS THE PROPERTY OF DISTINGUISHING DESIGNS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DISTINGUISHING DESIGNS, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

DERRICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (DAYLITE)
NEW RICHMOND, WISCONSIN

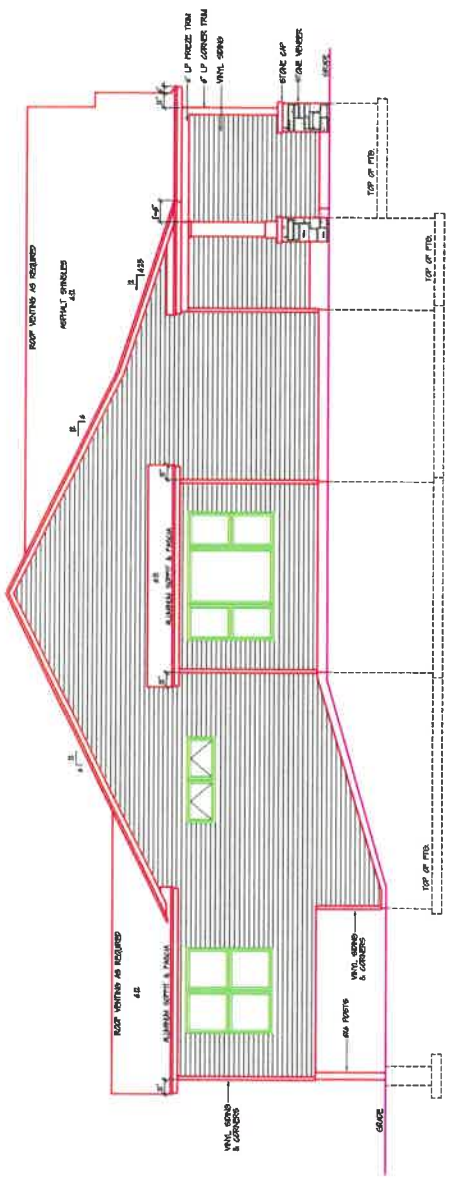
Muhlenpoh & Associates
1009 HOME PARK
WISCONSIN
608-785-4500
608-785-4525

THIS DRAWING IS THE PROPERTY OF MUHLENPOH & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MUHLENPOH & ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

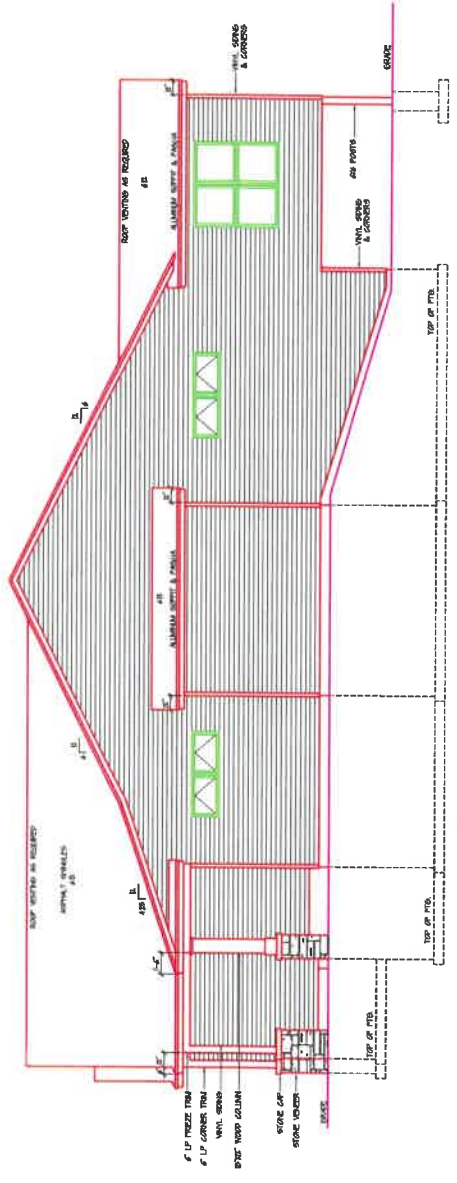
ISSUE DATE: 03-28-20
REVISIONS:

JOB NUMBER: B0320
DRAWN BY: M. MURPHY

SHEET #
4 of 5



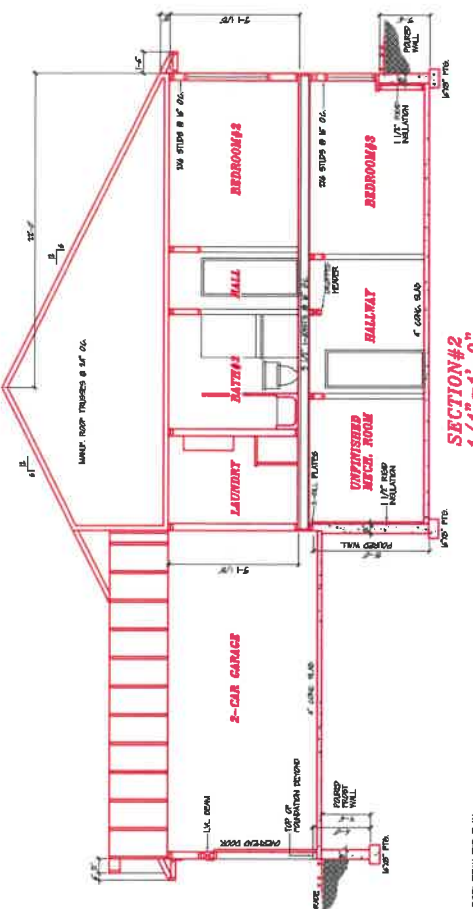
LEFT SIDE ELEVATION 1/4"=1'-0"



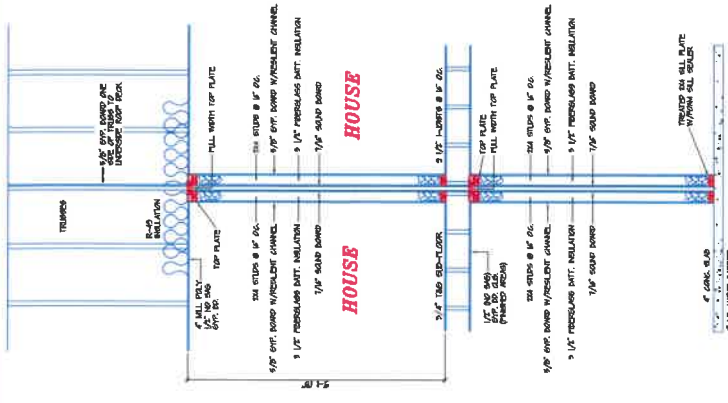
RIGHT SIDE ELEVATION 1/4"=1'-0"

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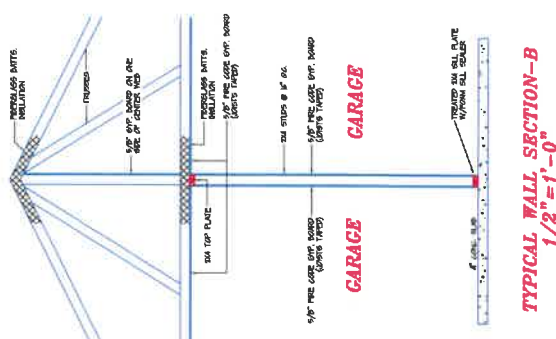
ROOF TRUSSES TO BE BRACED AGAINST EACH OTHER AT ALL ROOF AND RISE POINTS TO MAINTAIN PROPER STRUCTURE AND TO PREVENT EXCESSIVE DEFLECTION.



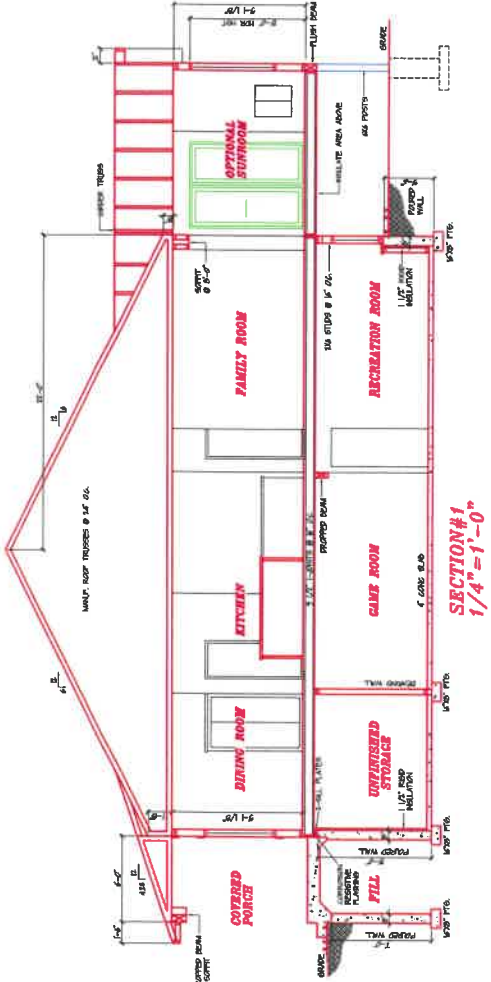
SECTION#2
1/4"=1'-0"



TYPICAL WALL SECTION-A
1/2"=1'-0"



TYPICAL WALL SECTION-B
1/2"=1'-0"



SECTION#1
1/4"=1'-0"

ROOF TRUSS PER PLAN
MAINT. ROOF TRUSSES @ 24" O.C.
1/2" ROOF SCHEATHING N/A/2" PLY ROOFING TILT
1/2" ROOF SCHEATHING N/A/2" PLY ROOFING TILT AT WALL ROOF INTERSECTIONS
TRUSSES INTERVENING SPACES SHALL BE BRACED TO MAINTAIN PROPER STRUCTURE AND TO PREVENT EXCESSIVE DEFLECTION.

WALLS
ALL INTERIOR & EXTERIOR WALLS SHALL BE BRACED TO MAINTAIN PROPER STRUCTURE AND TO PREVENT EXCESSIVE DEFLECTION.

ROOF INSULATION
1/2" POLYURETHANE INSULATION
1/2" POLYURETHANE INSULATION

FOUNDATION
1/2" POLYURETHANE INSULATION
1/2" POLYURETHANE INSULATION

CEILING
1/2" POLYURETHANE INSULATION
1/2" POLYURETHANE INSULATION

FLOOR
1/2" POLYURETHANE INSULATION
1/2" POLYURETHANE INSULATION

TYPICAL WALL SECTION
1/2"=1'-0"

ADVISED CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

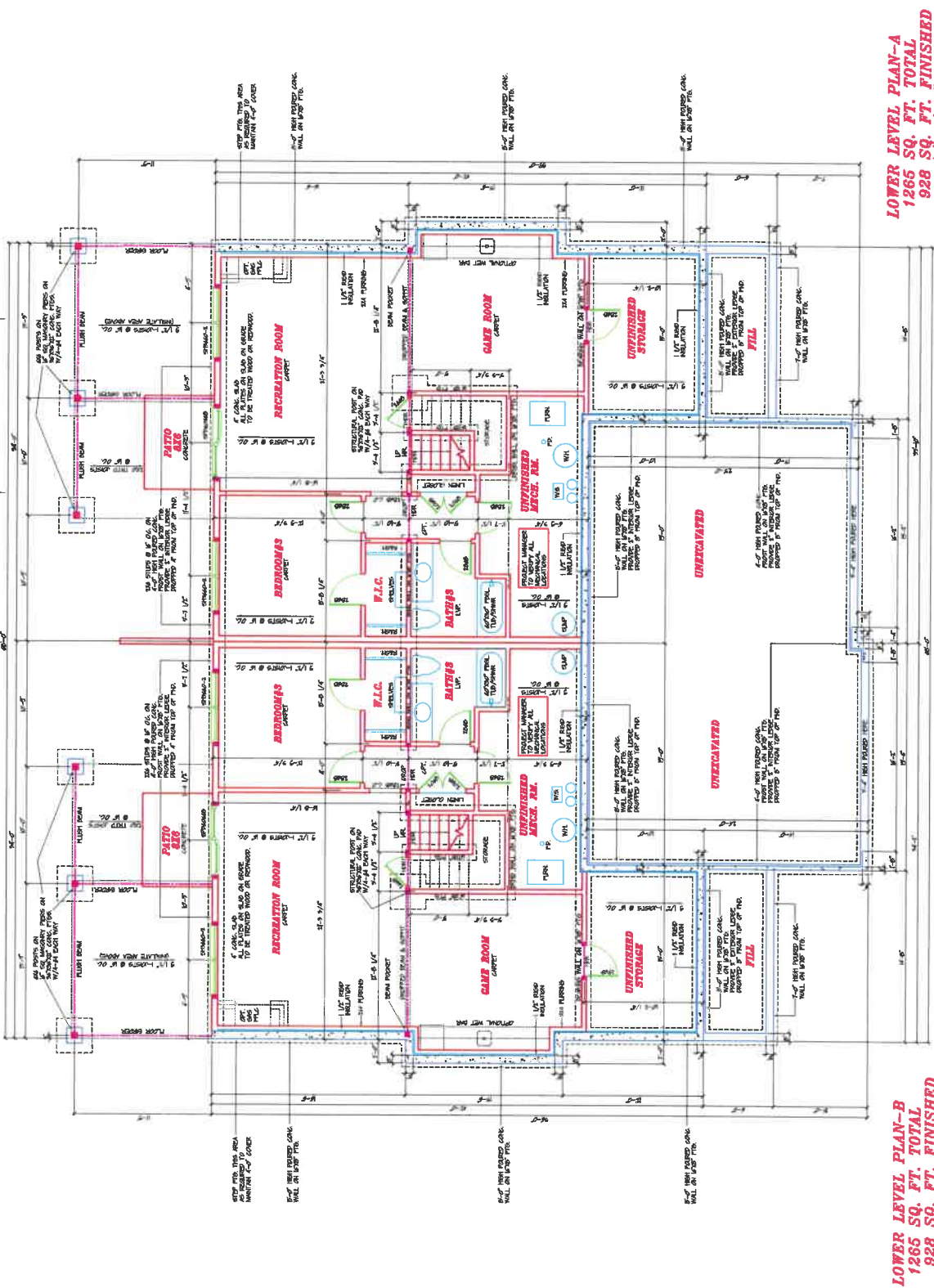
DISTINCTIVE DESIGNS INC. OF APIS
 1401 Industrial Blvd
 Wauwatosa, WI 53226
 414-441-0000

DERRICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (WALK-OUT)
ONE BEDROOM-MAIN LEVEL
NEW RICHMOND, WISCONSIN

Muhlenpoh & Associates
 10009 N. HUNTER ROAD
 SUITE 400
 WILSON, WI 53190
 414-254-4200
 maha@muhsa.com

ISSUE DATE: 03-20-20
 REVISIONS:
 JOB NUMBER: 09202
 DRAWN BY: M. MORAN
 SHEET #

2 of 5



LOWER LEVEL PLAN-A
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4" = 1'-0"
 UNIT# _____

LOWER LEVEL PLAN-B
 1265 SQ. FT. TOTAL
 928 SQ. FT. FINISHED
 1/4" = 1'-0"
 UNIT# _____



IF ALL ROOMS ARE FINISHED OR FINISHED ROOMS ONLY
 IF ALL ROOMS ARE FINISHED OR FINISHED ROOMS ONLY

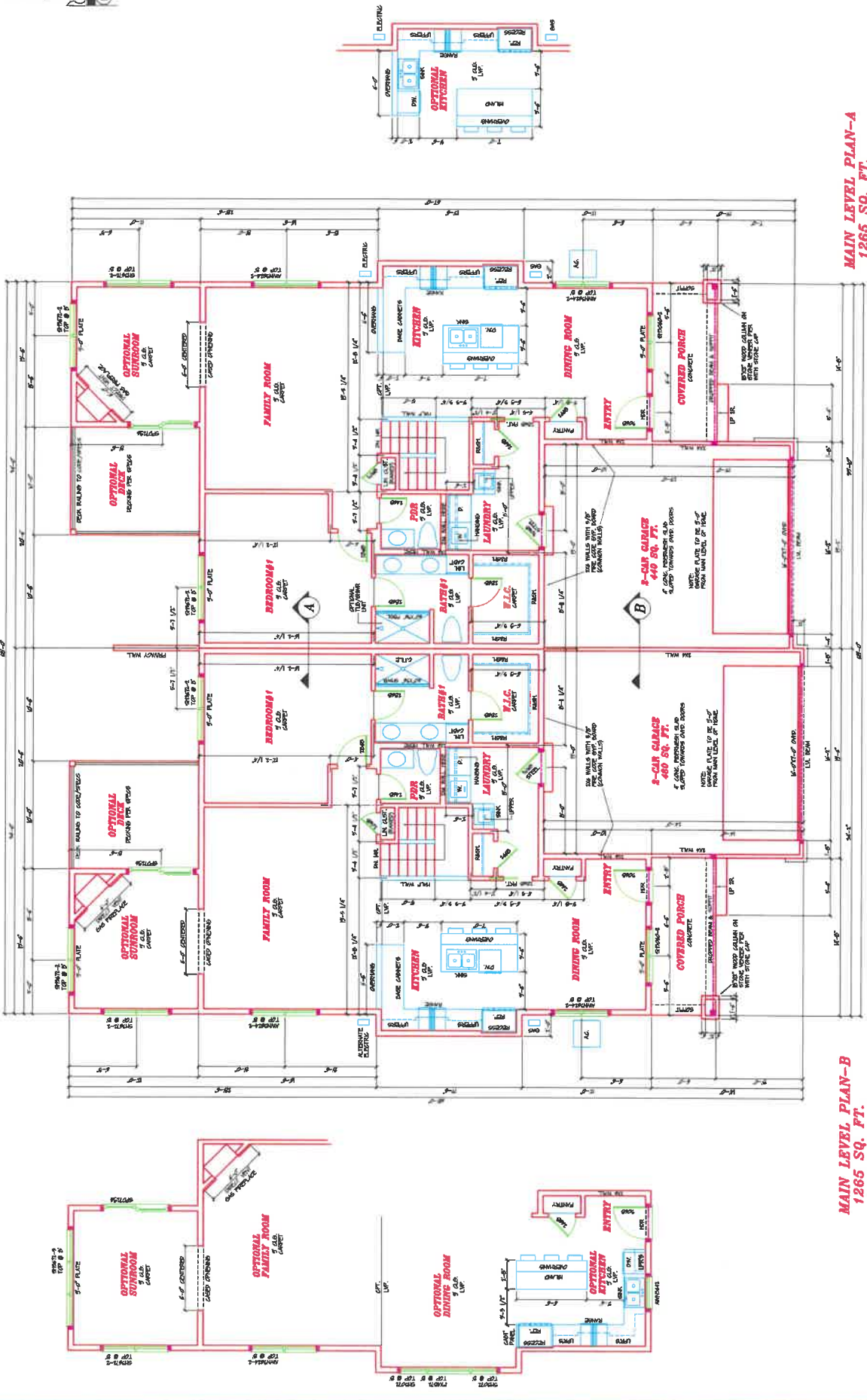
ADDITIONAL CODE BY
DISTINGUISHING DIMENSIONS
 INC. OF MAPS
 1801 N. HUNTERS BLVD
 SUITE 100
 WISCONSIN, WI 53190-1000
 414-221-0000

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DERICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (WALK-OUT)
ONE BEDROOM-MAIN LEVEL
NEW RICHMOND, WISCONSIN

Muhlenpoh & Associates
 1008 BIRME ROAD
 SUITE 100
 WISCONSIN, WI 53190-1000
 414-221-0000
 www.muhlenpoh.com

ISSUE DATE: 03-26-20
 REVISIONS:
 JOB NUMBER: 8420
 DRAWN BY: M. BURTON



MAIN LEVEL PLAN-A
 1266 SQ. FT. OPTIONAL SUNROOM
 1627 SQ. FT. TOTAL
 1/4" = 1'-0"
 UNIT# _____

MAIN LEVEL PLAN-B
 1265 SQ. FT. OPTIONAL SUNROOM
 1622 SQ. FT. TOTAL
 1427 SQ. FT. TOTAL
 1/4" = 1'-0"
 UNIT# _____



ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO FACE ARE SHOWN IN RED. DIMENSIONS TO CENTER ARE SHOWN IN GREEN. DIMENSIONS TO FINISH ARE SHOWN IN BLUE. DIMENSIONS TO EXISTING ARE SHOWN IN BLACK. DIMENSIONS TO NEW CONSTRUCTION ARE SHOWN IN RED. DIMENSIONS TO NEW CONSTRUCTION ARE SHOWN IN RED.

ARCHITECT: **DISTINCTIVE DESIGNS INC. OF WPLS**
 LOCAL: 715-246-2320
 WISCONSIN: 715-246-2320
 DISTRICT: 715-246-2320

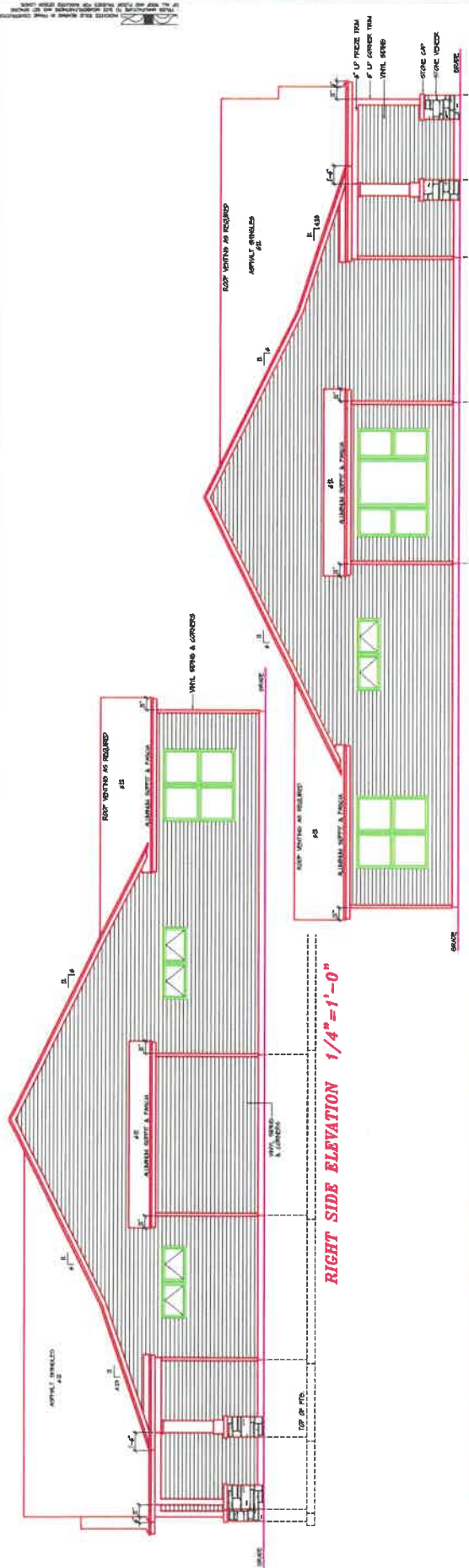
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DERICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (SLAB ON GRADE)
 NEW RICHMOND, WISCONSIN

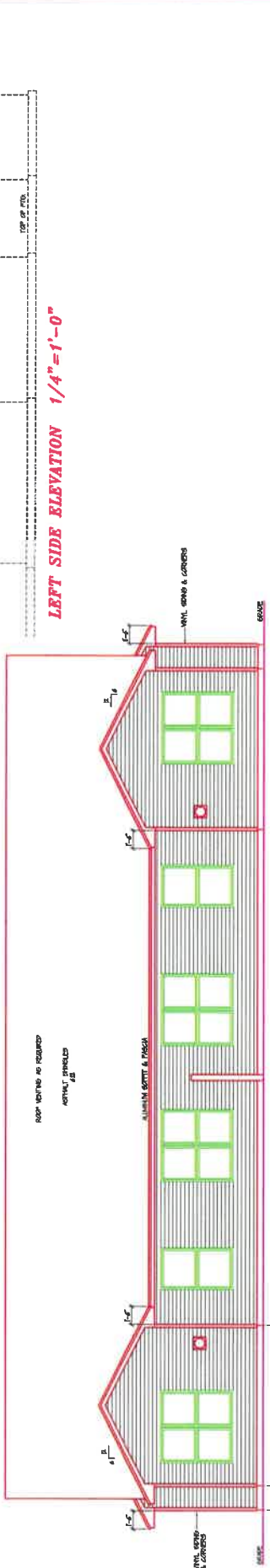
Muhlenpoh & Associates
 ARCHITECTS
 1000 W. WISCONSIN ST., SUITE 100
 WISCONSIN, WI 53120
 TEL: 715-246-2320
 FAX: 715-246-2320
 WWW.MUHLENPOH.COM

ISSUE DATE: 03-28-20
 REVISIONS:
 JOB NUMBER: 89120
 DRAWN BY: M. MORTY

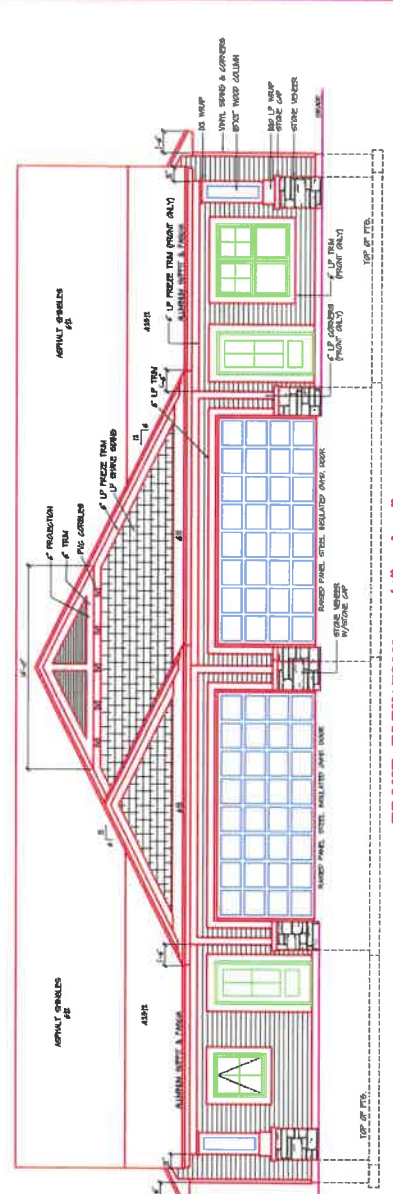
SHEET # **1** OF **4**



RIGHT SIDE ELEVATION 1/4"=1'-0"



REAR ELEVATION 1/4"=1'-0"



FRONT ELEVATION 1/4"=1'-0"

LEFT SIDE ELEVATION 1/4"=1'-0"

DESIGNED BY
**DISTINCTIVE DESIGNERS
 INC. OF WIS.**
 1401 W. WISCONSIN ST.
 WISCONSIN, WI 53588-1000
 (608) 785-0000

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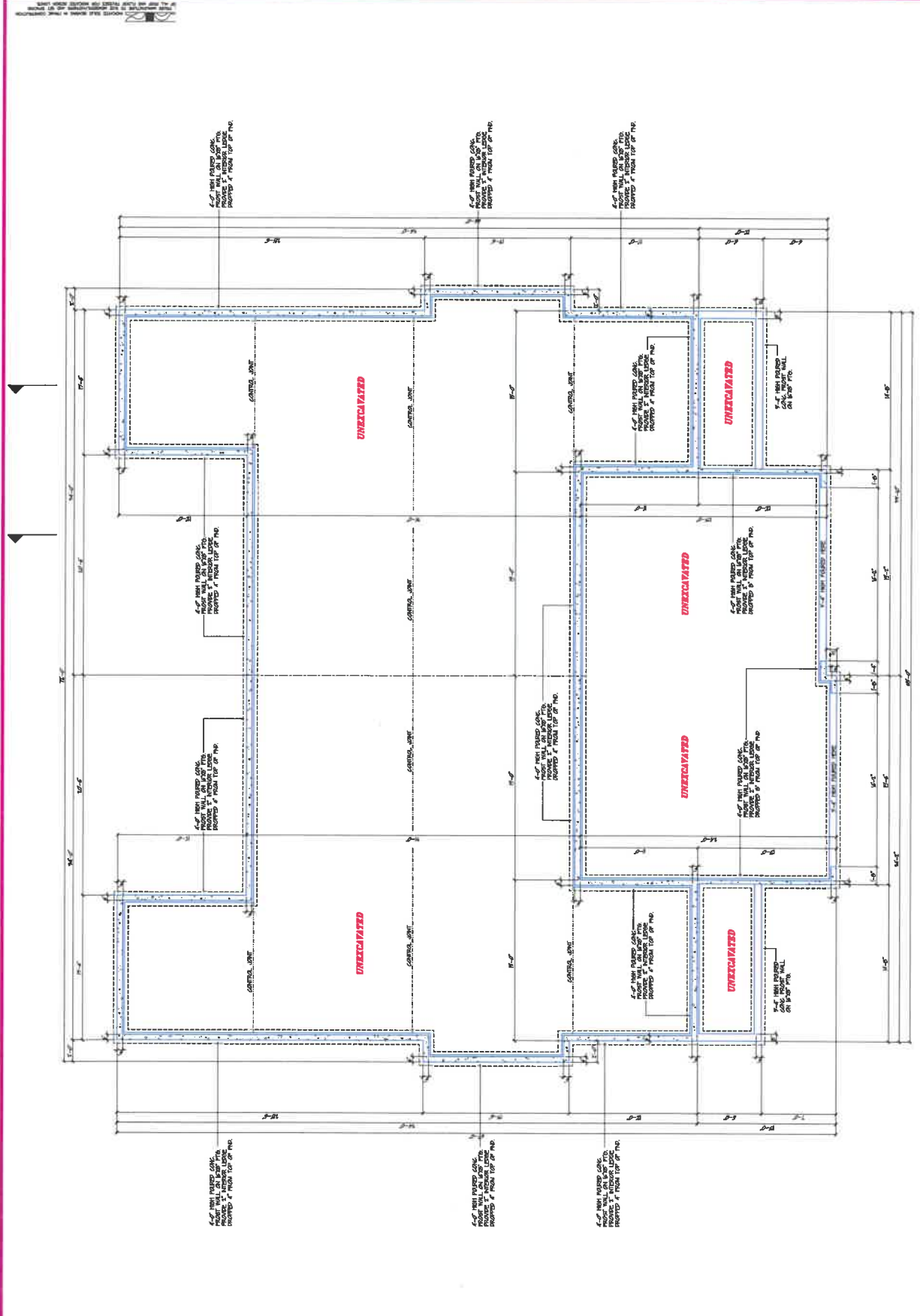
DERICK HOMES 715-246-2320
NASER HEIGHTS TWIN HOMES (SLAB ON GRADE)
NEW RICHMOND, WISCONSIN

**Muhlenpoh &
 Associates**
 1401 W. WISCONSIN ST.
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 www.muhlenpoh.com
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 PROFESSIONAL DESIGNER LICENSE NO. 000000000

ISSUE DATE: 03-26-20
 REVISIONS:

JOB NUMBER: BR120
 DRAWN BY: M. MORIN

SHEET# **2** OF **4**



FOUNDATION PLAN
1/4" = 1'-0"

1
 2

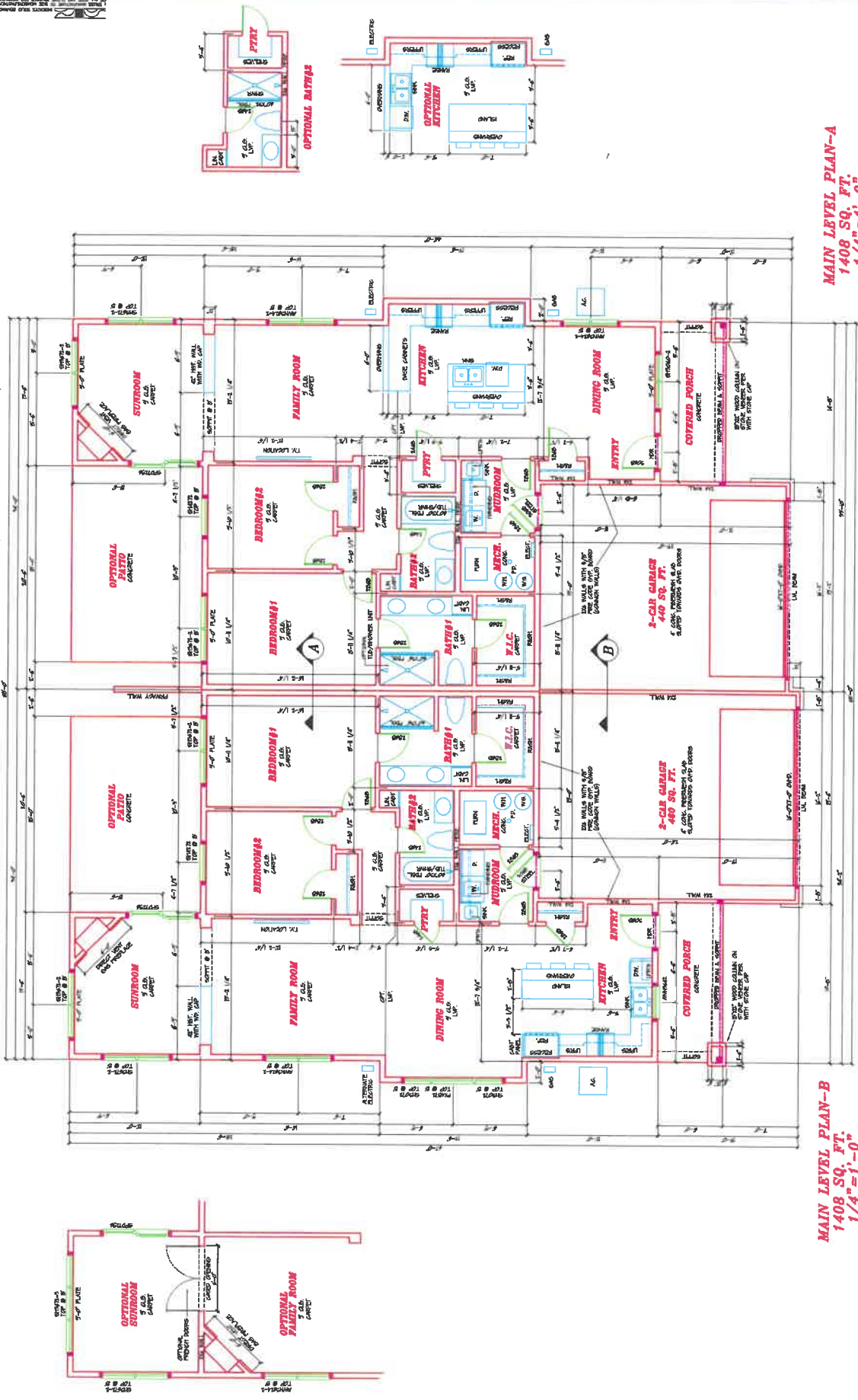
DISTINCTIVE DESIGNS
INC. OF WIS.
1400 N. WISCONSIN ST.
MILWAUKEE, WI 53233
TEL: 414-382-1000

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DERICK HOMES
NASER HEIGHTS TWIN HOMES (SLAB ON GRADE)
NEW RICHMOND, WISCONSIN

Muhlenpoh & Associates
1400 N. WISCONSIN ST.
MILWAUKEE, WI 53233
TEL: 414-382-1000

ISSUE DATE: 03-26-20
REVISIONS:
JOB NUMBER: 89120
DRAWN BY: M. MORAY



MAIN LEVEL PLAN-A
1408 SQ. FT.
1/4" = 1'-0"
UNIT#

MAIN LEVEL PLAN-B
1408 SQ. FT.
1/4" = 1'-0"
UNIT#



ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS FOR FINISHES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND SPECIFICATIONS PROVIDED HEREON. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR OMISSIONS CAUSED BY THE CONTRACTOR OR OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS CAUSED BY THE CONTRACTOR OR OTHERS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS CAUSED BY THE CONTRACTOR OR OTHERS.

ARCHITECT: DERRICK HOMES
 INC. OF WIS.
 1400 Highland Road
 Brookfield, WI 53005
 TEL: 762-1000 FAX: 762-1001

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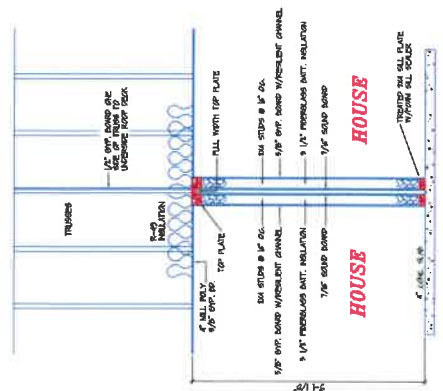
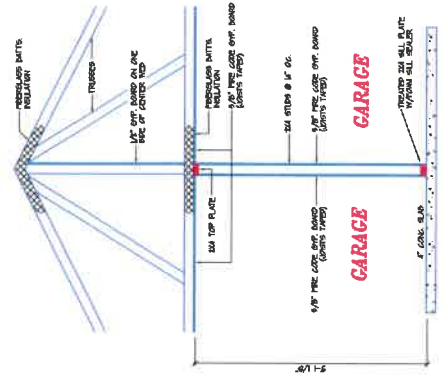
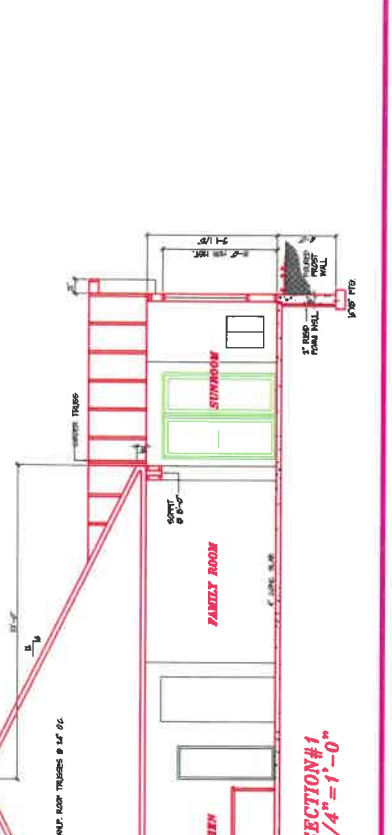
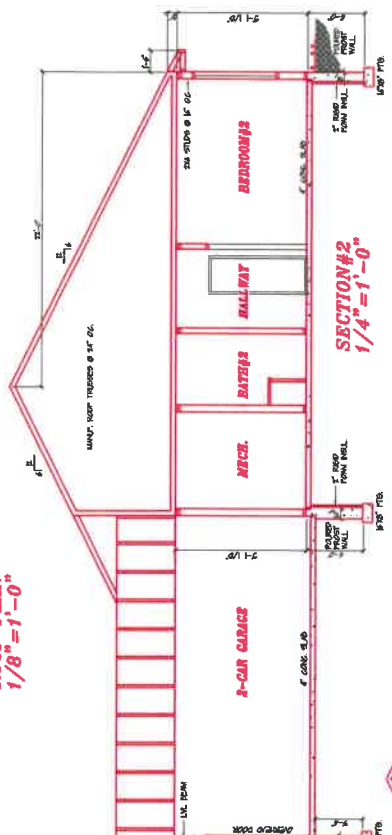
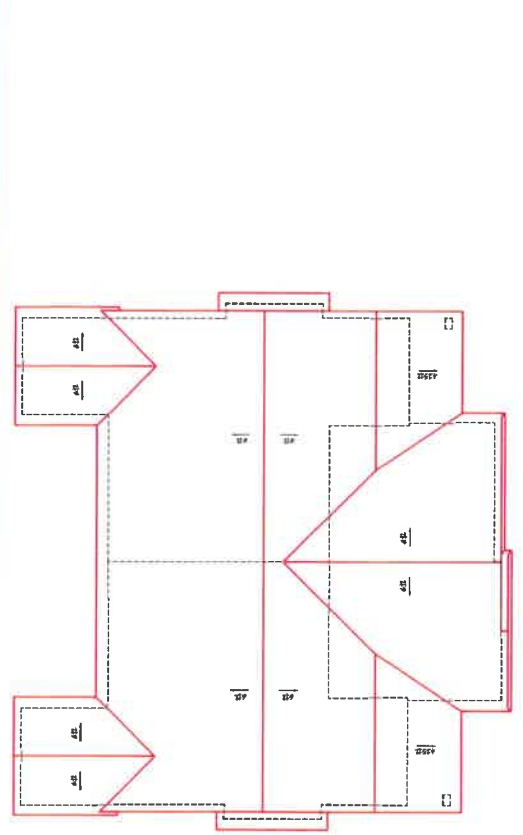
DERRICK HOMES
NASER HEIGHTS TWIN HOMES (SLAB ON GRADE)
 NEW RICHMOND, WISCONSIN

Muhlenpoh & Associates
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ISSUE DATE: 03-25-20
 REVISIONS:
 JOB NUMBER: B9120
 DRAWN BY: M. MOYIN

SHEET #
4 OF **4**

NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" SHEETROCK.
 ALL FLOORS TO BE FINISHED WITH 3/4" GYPSUM BOARD OVER 1/2" SHEETROCK.
 ALL ROOFS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" SHEETROCK.
 ALL ROOFS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" SHEETROCK.



TYPICAL WALL SECTION-B
 1/2" = 1'-0"

TYPICAL WALL SECTION-A
 1/2" = 1'-0"

